

DATE OF MEETING April 4, 2016

AUTHORED BY GARY NOBLE, DEVELOPMENT APPROVAL PLANNER, PLANNING AND DESIGN

SUBJECT DEVELOPMENT PERMIT NO. DP977 – 1847 DUFFERIN CRESCENT

## OVERVIEW

### **Purpose of Report**

To present Council with a development permit application for a commercial development comprised of two buildings at 1847 Dufferin Crescent.

### **Recommendation**

That Council issue Development Permit No. DP977 at 1847 Dufferin Crescent with the following variances:

- increase the retaining wall height from 1.8m to 3.96m along the south property line; and,
- increase the small car parking space ratio from 33% to 44%.

## BACKGROUND

A development permit application, DP977 (Attachment A), was received from Daryoush Firouzli Architecture Inc. on behalf of Patrick Investments.

Zoning	COR3 – Commercial Corridor
Location	The subject property is located one lot west of the Bowen Road / Dufferin Crescent intersection.
Total Area	4,040m <sup>2</sup>
Official Community Plan	Map 1 – Future Land Use Plan – Corridor; Map 3 – Development Permit Area No. 9 – Commercial, Industrial, Institutional, Multiple Family and Mixed Commercial/Residential development.
Relevant Design Guidelines	General Development Permit Design Guidelines

## DISCUSSION

### ***Proposed Development***

The proposed commercial development is comprised of two buildings:

Building 1: two-storey  
Main Floor: 348.4m<sup>2</sup>  
Second Floor: 69.7m<sup>2</sup>

Building 2: one-storey  
Main Floor: 799m<sup>2</sup>

Regular Council Meeting  
2016-APR-04

### *Site Context*

The subject property abuts the Green Rock Industrial Park and is part of a growing complete neighbourhood with needed services within easy walking distance.

### *Site Design*

The proposed development completes a three-lot subdivision initiated with Vancouver Island Fitness and then followed by a two-storey retail/office building (Front Runners faces Bowen Road).

A joint access easement fronts the vacant subject property and also provides vehicle access to McDonalds to the east.

Building 1 (as illustrated in Attachment A) is sited with a strong street presence along Dufferin Crescent. Building 2 (as illustrated in Attachment A) is sited along the south property line. The site organization of the two buildings allows for a parking court between these two buildings. The image of a parking court is reinforced by the entrance landscaping and scored concrete entrance apron.

The subject property elevation is higher than the properties to the west and south. Stepped decorative retaining walls are a feature of those two property edges.

### *Landscape Plan*

The subject property has a landscaped bioswale in front of Building 1. Additional landscape materials will be added to the south bank of the bioswale. A 2m-wide pedestrian bridge will be constructed at the northwest corner of subject property to allow easy pedestrian access from the public sidewalk to the site.

The west property edge has a stepped retaining wall which creates two planting terraces. The upper terrace at the parking court level of the subject property consists of trees and a linear evergreen hedge that creates a strong visual and textured edge. The lower terrace has a shrub base to soften the upper retaining wall. Vines are added to this terrace to eventually cover the corner retaining wall.

The south property edge has a planting of Austrian pine and ground cover on the two terraces. The trees will camouflage the two retaining walls.

### *Building Design*

Building 1 fronts Dufferin Crescent and provides a strong two-storey corner building mass next to the vehicle access. The road geometry affords good visibility to Building 1 from the Dufferin Crescent and Bowen Road intersection.

The north elevation of Building 1 is animated by a prominent second-storey shed roof element, which steps down to a one-storey element. The wall face is completed by a lesser two-storey element.

The shed roofs, flat roof and exterior material finishes all are complimentary to buildings recently constructed within the neighbourhood.

Building 2 uses a similar, but less grand, architectural vocabulary to Building 1 to animate the building elevation fronting the parking lot and the two side elevations. The undulating roof mass is used to articulate the five building bays. This strategy overcomes an otherwise horizontal building wall plane. The exterior finishes mirror Building 1 to further articulate the building mass.

### ***Proposed Variances***

#### *Retaining Wall Height*

The maximum retaining wall height is 1.8m. The proposed retaining wall height is 3.96m, a proposed variance of 2.16m.

The retaining wall is stepped to create a terrace for landscape plantings. The first retaining wall to create the terrace is 1.8m in height. The next retaining wall behind the terrace is 2.16m.

Visually, the south edge of the property will be a two level stand of coniferous trees.

#### *Small Car Parking Ratio*

The maximum small car parking ratio is 33%. The proposed small car parking ratio is 44%, a proposed variance of 11%.

The subject property abuts three other parking lots which manage a variety of parking demands. Staff note the observed parking demand is predominately for small cars.

### **SUMMARY POINTS**

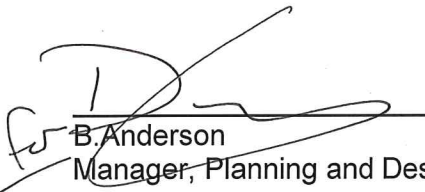
- Development Permit No. DP977 is a commercial development on the edge of Green Rock Industrial Park.
- The proposed development meets the intent of the applicable design guidelines and conforms to zoning regulation, with the exception of the retaining wall height variance and the small car parking ratio variance.

### **ATTACHMENTS**

ATTACHMENT A: Development Permit DP000977

ATTACHMENT B: Aerial Photo

#### **Submitted by:**

  
B. Anderson  
Manager, Planning and Design

#### **Concurrence by:**

  
D. Lindsay  
Director, Community Development

# ATTACHMENT A



**DEVELOPMENT PERMIT NO. DP000977**

**PATRICK INVESTMENTS**  
Name of Owner(s) of Land (Permittee)

**1847 DUFFERIN CRESCENT**  
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

**LOT A, SECTION 15, RANGE 8, MOUNTAIN DISTRICT, PLAN EPP27001**

**PID No. 029-225-744**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Location Plan**  
**Schedule B Site Plan**  
**Schedule C Building Elevations**  
**Schedule D Landscape Plan**  
**Schedule E Retaining Wall Detail**  
**Schedule F Building Renderings**

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
5. The City of Nanaimo "ZONING BYLAW 2011 NO. 4500" is varied as follows:  
Section 6.10.2 – Maximum Retaining Wall Height  
The maximum retaining wall height is 1.8m. The proposed retaining wall height is 3.96m, a variance of 2.16m.
6. The City of Nanaimo "DEVELOPMENT PARKING REGULATIONS BYLAW 2005 NO. 7013" is varied as follows:  
Section 15.1 – Maximum Small Car Parking Ratio  
The maximum small car parking ratio is 33%. The proposed small car parking ratio is 44%, a variance of 11%.

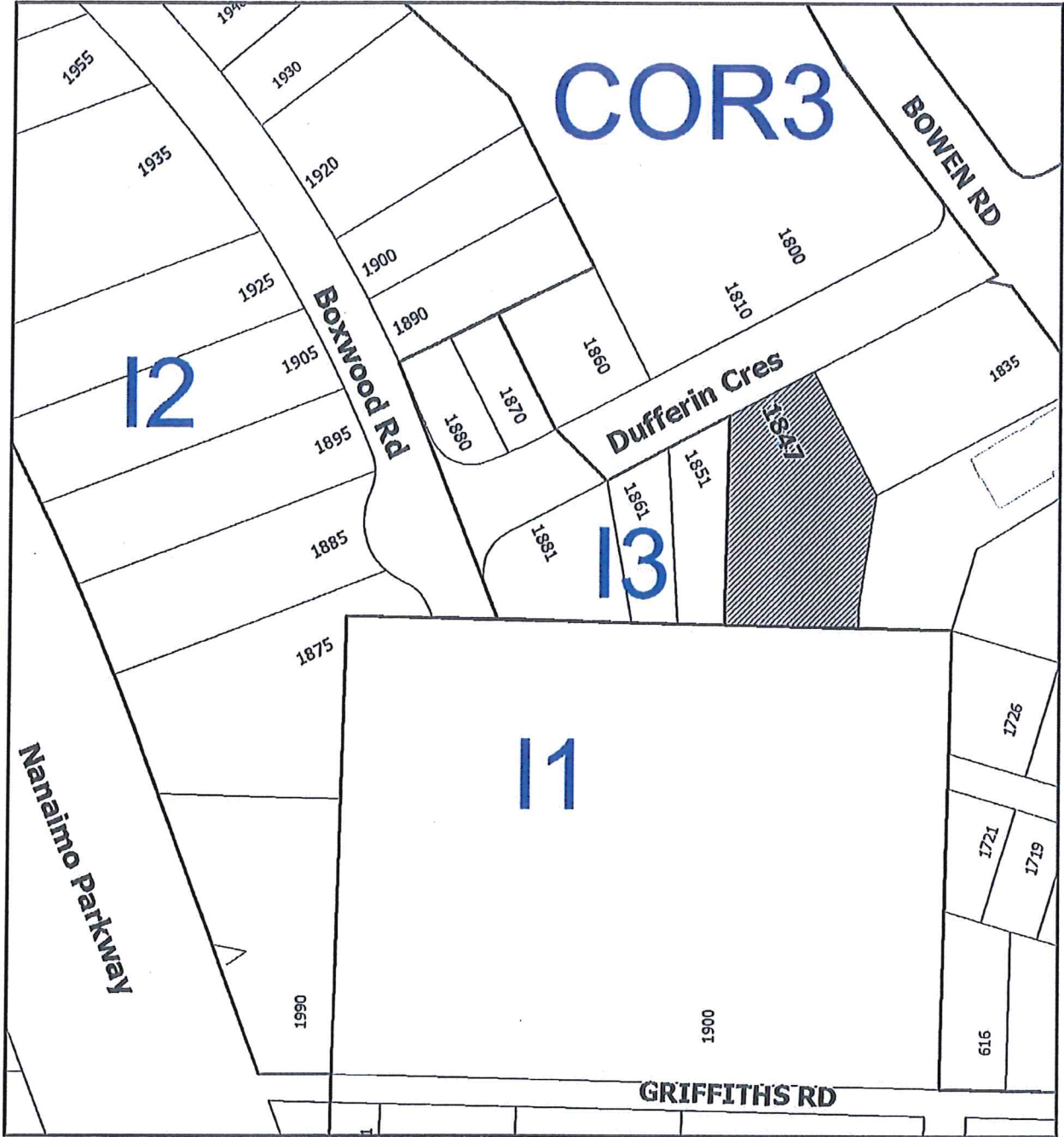
AUTHORIZING RESOLUTION PASSED BY COUNCIL  
THE DAY OF, **2016**.

\_\_\_\_\_  
Corporate Officer

\_\_\_\_\_  
Date

Development Permit DP000977 Schedule A  
1847 Dufferin Crescent

**LOCATION PLAN**



DEVELOPMENT PERMIT NO. DP000977

**LOCATION PLAN**

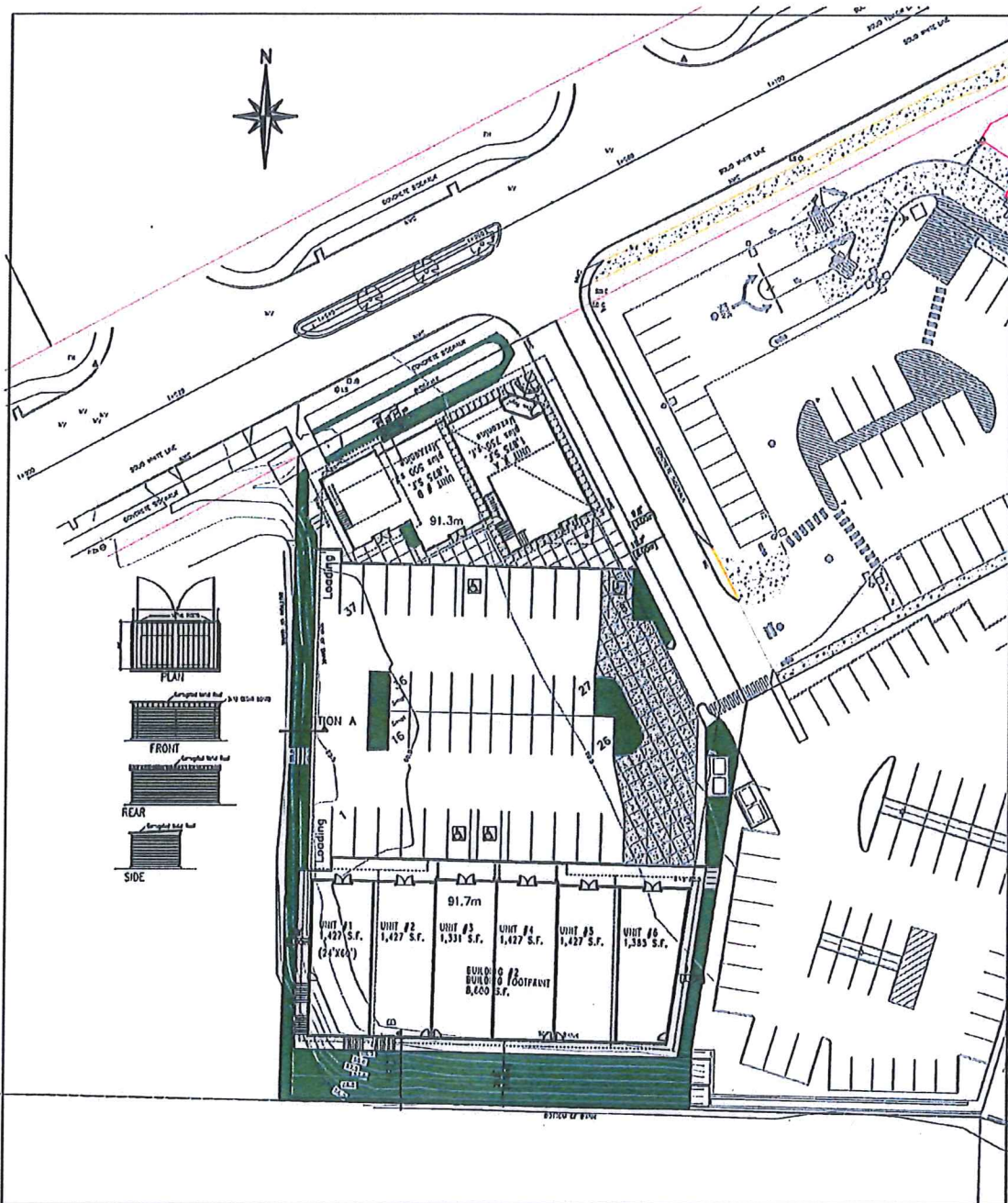
Civic: 1847 Dufferin Crescent  
Lot A, Section 15, Range 8,  
Mountain District, Plan EPP27001



 **Subject Property**

Development Permit DP000977  
1847 Dufferin Crescent

Schedule B  
**SITE PLAN**



**D-ARCHITECTURE**  
68977 IDARUS DRIVE, NANAIMO, BC V8V 1H4  
TEL: 880-933-1991, EI.FIROUZLI@D-AV.AO  
DARYOUSH FIROUZLI ARCHITECTURE INC.

CLIENT:  
**Patrick Investments Ltd.**

PROJECT:  
1847 Dufferin Crescent,  
NANAIMO, BC

DWG TITLE:  
**Alternative Site Plan**

SCALE: \_  
DATE: 10 MAR 16  
PROJ. No. 2523

DWG No.  
**A1.0**

# Building 1

Development Permit DP000977      Schedule C  
 1847 Dufferin Crescent  
**BUILDING ELEVATIONS**  
 1/2

The drawings show three elevations of Building 1:

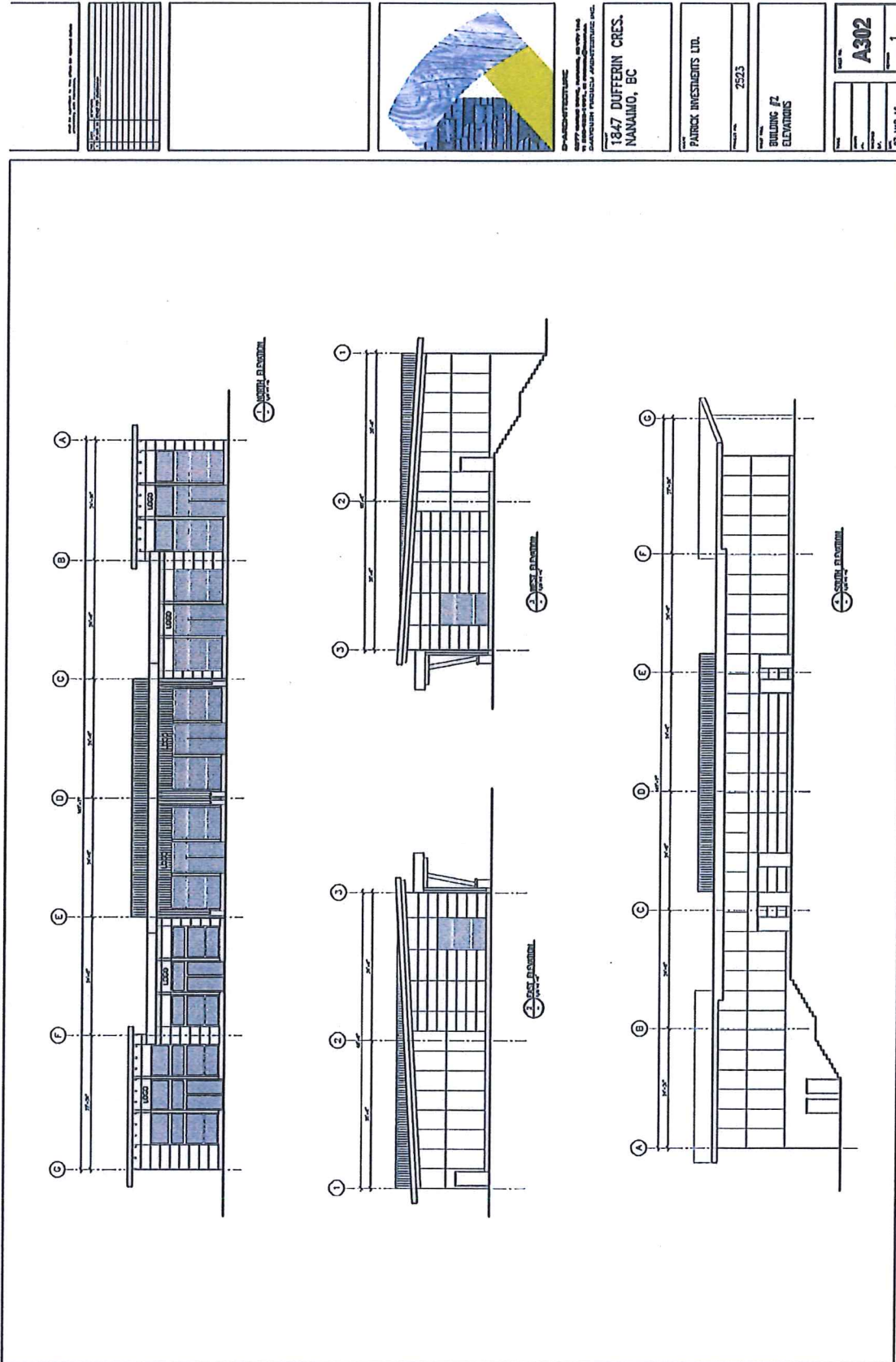
- Front Elevation (Top):** Shows a two-story building with a gabled roof. Grid lines A, B, C, and D are marked along the top. Dimensions are indicated between grid lines.
- Side Elevation (Middle):** Shows the side profile of the building with a gabled roof. Grid lines 1, 2, 3, and 4 are marked along the top. Dimensions are indicated between grid lines.
- Rear Elevation (Bottom):** Shows the rear profile of the building with a gabled roof. Grid lines A, B, C, and D are marked along the top. Dimensions are indicated between grid lines.

Each elevation is accompanied by a north arrow symbol pointing to the right.

<small>DATE: 10/15/16</small>	<small>SCALE: 1/8" = 1'-0"</small>			<small>D-ARCHITECTURE 1847 DUFFERIN CRES. NANAIMO, BC VANCOUVER, BC V8Y 1P4 DANIELA PABLOVIC ARCHITECTURE INC.</small>	<b>1847 DUFFERIN CRES. NANAIMO, BC</b>	<b>PATRICK INVESTMENTS LTD.</b>	<small>PROJECT NO. 2523</small>	<b>BUILDING #2 ELEVATIONS</b>	<small>DATE: 10/15/16</small>	<b>A202</b>	<small>1</small>
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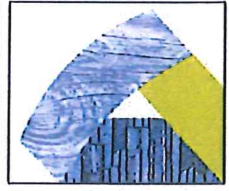
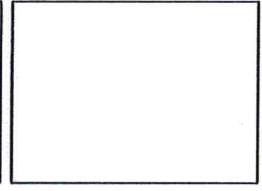


# Building 2



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/18/18
2	ISSUED FOR PERMIT	10/18/18
3	ISSUED FOR PERMIT	10/18/18
4	ISSUED FOR PERMIT	10/18/18
5	ISSUED FOR PERMIT	10/18/18
6	ISSUED FOR PERMIT	10/18/18
7	ISSUED FOR PERMIT	10/18/18
8	ISSUED FOR PERMIT	10/18/18
9	ISSUED FOR PERMIT	10/18/18
10	ISSUED FOR PERMIT	10/18/18

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/18/18
2	ISSUED FOR PERMIT	10/18/18
3	ISSUED FOR PERMIT	10/18/18
4	ISSUED FOR PERMIT	10/18/18
5	ISSUED FOR PERMIT	10/18/18
6	ISSUED FOR PERMIT	10/18/18
7	ISSUED FOR PERMIT	10/18/18
8	ISSUED FOR PERMIT	10/18/18
9	ISSUED FOR PERMIT	10/18/18
10	ISSUED FOR PERMIT	10/18/18



G+H ARCHITECTURE  
 1847 DUFFERIN CRES.  
 NANAIMO, BC

1847 DUFFERIN CRES.  
 NANAIMO, BC

PATRICK INVESTMENTS LTD.  
 2523

BUILDING #2  
 ELEVATIONS

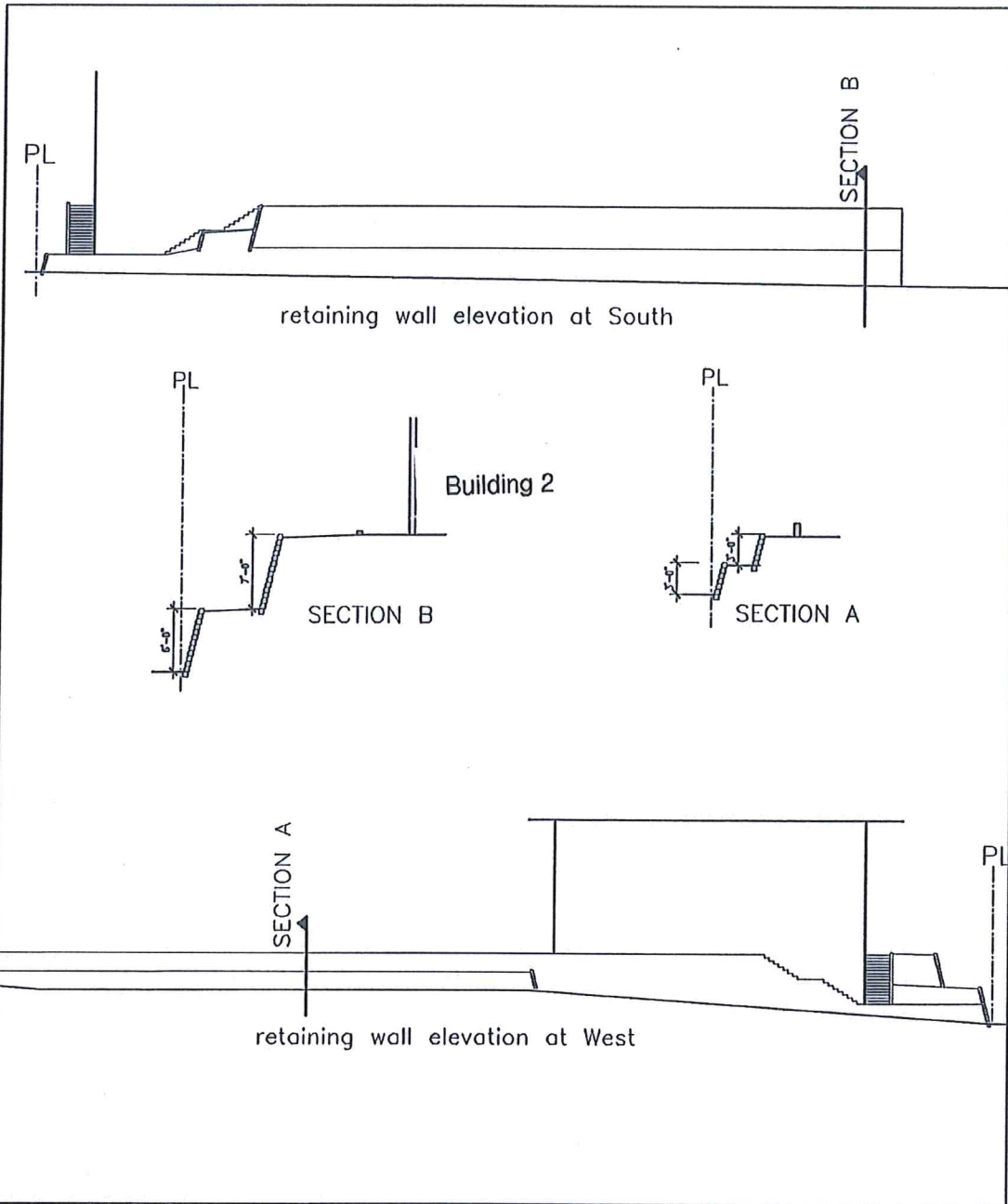
NO. 1  
 A302  
 17 MAR 18



Development Permit DP000977  
 1847 Dufferin Crescent

Schedule E

**RETAINING WALL DETAIL**



**D-ARCHITECTURE**  
 6377 IDARUS DRIVE, NANAIMO, BC V9V 1N4  
 TEL 250-933-1001, E1 FIRDOUZ@DHAW.DA  
 DARYOUSH FIRDOUZI ARCHITECTURE INC.

CLIENT:  
**Patrick Investments Ltd.**

PROJECT:  
 1847 Dufferin Crescent,  
 NANAIMO, BC

DWG TITLE:  
**retaining wall elevations**

SCALE: _	DWG No.
DATE: 12 MAR 6	<b>A1.1</b>
PROJ. No. 2523	

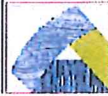
# View from Building 1 – Dufferin Cres

Development Permit DP000977      Schedule F  
1847 Dufferin Crescent

1/2      BUILDING RENDERINGS



3D RENDERING



**D+ARCHITECTURE**  
6377 ICARUS DRIVE, NANAIMO, BC V9V 1N4  
T: 250-933-1991, E: FIRUZLI@SHAW.CA  
DARYOUSH FIRUZLI ARCHITECTURE INC.

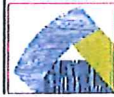
**PRELIMINARY**  
SCALE 1/4"  
DATE: JUN 28 2016

**A3.2** 1847 DUFFERIN CRESCENT, NANAIMO, BC  
PATRICK INVESTMENT LTD.

# Building 2



3D RENDERING



**D-ARCHITECTURE**

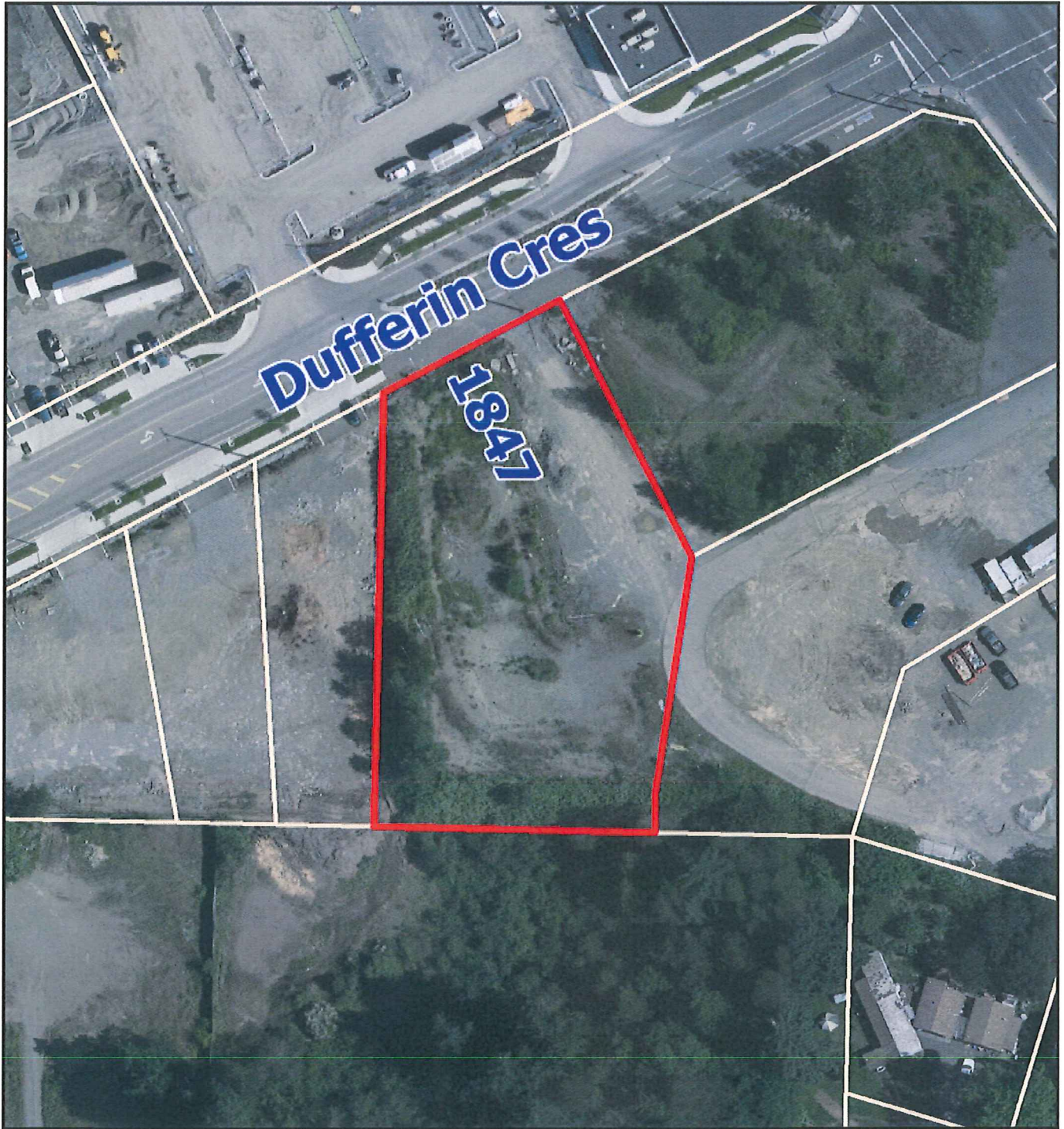
6377 ICARUS DRIVE, NANAIMO, BC V9Y 1N4  
T: 250-933-1991, E: FIRUZELI@SHAW.CA  
DARYOUSH FIRUZELI ARCHITECTURE INC.

**PRELIMINARY**

SCALE: 1/4"  
DATE: JAN 26 2016

**A3.0 1847 DUFFERIN CRESCENT, NANAIMO, BC**  
PATRICK INVESTMENT LTD.

# ATTACHMENT B



DEVELOPMENT PERMIT NO. DP000977

